

**Mr & Mrs Debattista  
Carnela  
Main Street  
Heiton, TD5 8 JR**

**18 December 2023**

Dear Sir / Madam,

**Re: 23/01065/FUL and 23/00051/RREF - Erection of dwellinghouse. Land Adjacent Carnlea Main Street Heiton Scottish Borders**

Further to the above-noted appeal application, we wish to submit our additional comments as per below.

Firstly, we reiterate our previous submissions in respect to this application.

After having read through the Appeal Statement made on behalf of Mr Graham, we noted that the road running through the village of Heiton has been wrongly identified on three occasions as A968 instead of A698.

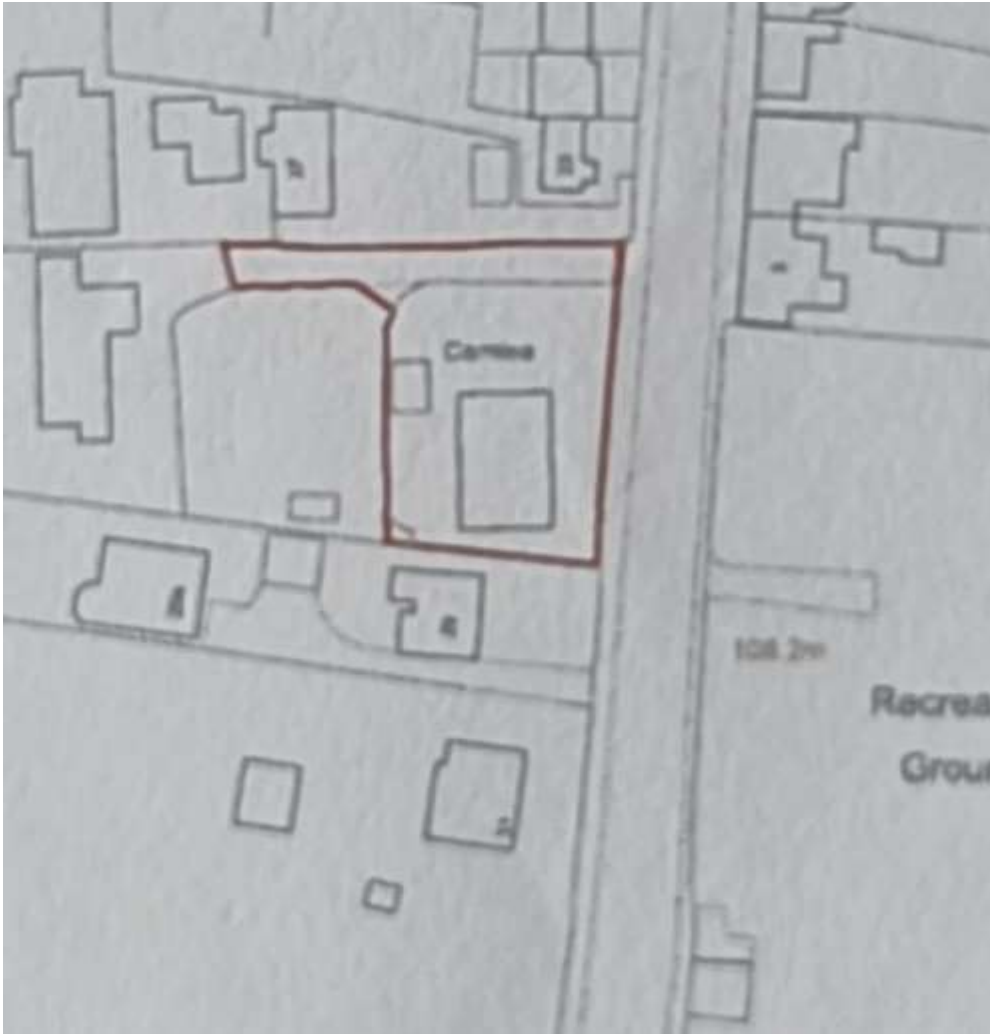
We also noted that Figure 5 on page 10 (snippet below for ease of reference), shows the front corner of the land as part of Mr Graham's property. As noted in our previous correspondence this is part of our property. We are re-including an extract of the land registry document dated 21/12/2021, hereunder

***Figure 5 (page 10 of the Appeal Statement)***



**Extract of the land registry document dated 21/12/2021**





We believe that the Appeal Statement is indeed a repetition of what has already been addressed in the last application and the ones before that. In all the refusals, the road safety issue was a constant, and we understand that the comments made by the Road Planning report in this regard did not change.

We note that in the Appeal Statement reference is made to Scott Street in Galashiels and Cairneyhill in Fife. Looking at the pictures included in the Appeal Statement there is a notable difference between the mentioned street and the access road on Main Street, Heiton. The visibility from the access road onto the Main Street is effectively zero, one needs to go out almost in the middle of the road to be able to see whether traffic is coming from either direction. Although no accidents have been reported in the last two years we have been living here, it is a dangerous situation, especially when agricultural vehicles, HGVs and other large vehicles are passing through.

We believe that markings on the road will not help the situation. It is a fact that although the speed limit is 20 miles per hour, most often than not this is not respected.

Regarding the comment stating that if planning permission is refused *the land will remain vacant and will continue to negatively impact character and vitality of the neighbourhood*, we understand that Mr

Graham has been approached to consider selling the land, and therefore this will not necessarily be the case.

Regarding the turning circle at the top of the access road, we feel that this needs to be part of the planning condition in the event that the decision is overturned, as emergency and delivery vehicles have had to reverse into our property in the past due to the land in question being fenced off.

Ultimately, we feel that, since the last planning refusal, matters have not changed.

Yours faithfully

Daniela & Jean Pierre Debattista